



Bella Clyde

Design Guidelines

BEAUTIFUL LIVING

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Bella Vision

The intent of the Bella Design Guidelines is to help create a beautiful living environment. They allow for the establishment of individualised houses that will sit comfortably next to each other in the street bringing about attractive, liveable neighbourhoods and a diverse, interesting community. This, in turn, also provides a measure of investment protection for the owners and community members.

The Design Guidelines describe important principles and parameters that must be considered in conjunction with the Building Envelope details and the Plan of Subdivision Restrictions for each lot.

These requirements are in addition to, and not in lieu of, any State or local government planning or building approval requirements. It is the responsibility of the property owner (or their nominated agent) to check the current planning and building requirements relevant to the property being built on, to ensure the proposed design meets all legislative requirements.

SMALL LOT HOUSING CODE

Selected lots, as identified in the relevant Plan of Subdivision, are subject to the Small Lot Housing Code.

These lots are subject to these Design Guidelines and Plan of Subdivision Restrictions in addition to the requirements of the Small Lot Housing Code (SLHC).

Where the SLHC requirements contradict the Design Guidelines, the SLHC requirements shall prevail. The Bella Design Review Panel (BDRP) will not assess proposals against the requirements of the SLHC.



Definitions

FOR THE PURPOSES OF THESE GUIDELINES:

- *Public Realm* is any land that is within the ownership of a public body, including Council and servicing authorities.
- *Building Envelope Plan* means the plan that specifies the area on a site where a building can be sited in conjunction with the relevant building regulations.
- *The Building Envelope Plan* is available via the Builder's Portal on the National Pacific Properties website: www.nationalpacific.com.au
- A *corner lot* is any lot that has more than one boundary that abuts the public realm.
- On *corner lots*, the primary street frontage is the boundary with the greatest setback on the Building Envelope Plan.
- A *habitable room* is a living room or a bedroom.
- *Natural Ground Level* means the finished surface level of the ground after engineering works associated with the subdivision have been completed.

Process



APPROVAL PROCESS

Before a Building Permit is issued, or construction works started, the design and siting of a proposed house must be approved by the Bella Design Review Panel (BDRP).

The BDRP is appointed by the developer to oversee and implement the objectives of the Design Guidelines.

In the interests of better achieving the diversity and visual interest that will promote more desirable neighbourhoods, the BDRP, at its absolute discretion, may approve a proposal that meets the objectives of these Design Guidelines without strictly complying with the wording therein. No claims shall be made to the developer or their representatives with respect to the decisions made or approvals given.

SUBMISSION REQUIREMENTS

All submitted documents must be in PDF format:

1. Site plan at 1:200, with dimensions and showing:
 - lot boundaries and any easement(s) on title;
 - proposed building footprint and all proposed setbacks;
 - contours (at 0.5m interval or less) or spot levels;
 - on-site car parking and driveways; and
 - other external structures (including pools and spas).
2. All floor plans, roof plans and elevations at 1:100, with dimensions and showing:
 - internal layout, and any pergolas, decks, terraces, balconies, verandahs, windows, doors and other openings; and
 - proposed floor levels to AHD.
3. Finishes and colour samples:
 - provide a PDF file with samples or images (swatches, colour photos, paint chips etc.) of all proposed external materials and colour selections.
4. Landscape plan at 1:100, with dimension and showing:
 - indicative extent of all hardscape and softscape; and
 - planting schedule that lists all proposed species referenced on landscape plan.

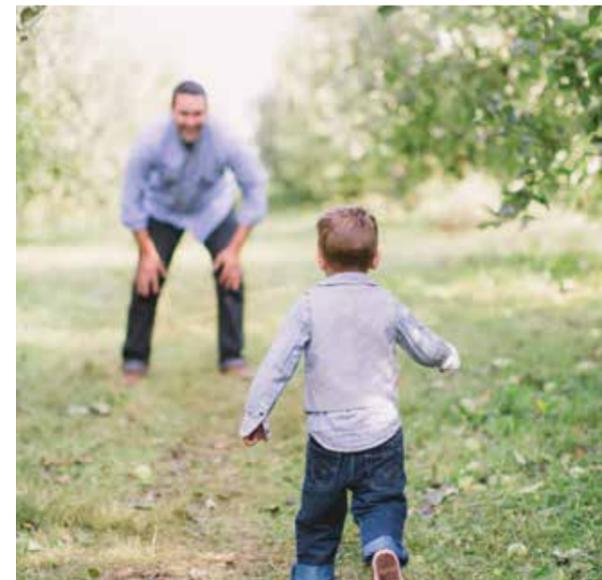
SUBMISSIONS

All applications for Developer's Approval must be in PDF format and lodged via the Design Approval Portal at www.ngdd.com.au:

A screenshot of the ngd DESIGN portal login page. The page features the ngd DESIGN logo at the top left. Below the logo, there is a welcome message: "Welcome to our Design Approval Portal. This is where you can apply for a Design Approval for your new home." There is also a note: "As well as being a handy source of information, this portal will help Owners, Designers, Builders and Developers to lodge and track the progress of an application from the initial lodgement through to approval." Below this, there are links for "Terms & Conditions", "REGISTER >", and "VIEW USER GUIDE". On the right side, there is a login form titled "ENTER YOUR LOGIN DETAILS" with fields for "USERNAME" and "PASSWORD", and a "LOGIN" button. A small link "Forgot your login details?" is located below the login button.

Please note that incomplete submissions are the single greatest cause of delays in obtaining a Design Approval. Check that your submission includes all the required information before lodging it. Complete and thorough submissions take the least time to process, review and approve.

No posted submissions will be accepted.



RE-SUBMISSIONS

Should a re-submission be required, please ensure that any alterations or changes are suitably highlighted on the plans or in any accompanying communication. This will help to speed up the processing and assessment.

Allowance has been made for two submissions for each Design Approval application.

Each additional submission may, at the sole discretion of the BDRP, incur an administration fee.

Additional submissions for a lot that has already had an application submitted will also incur an administration fee for each submission.

Land

LOT LAYOUT

- Only one dwelling may be built per lot, unless noted otherwise on the Building Envelope Plan.
- Each dwelling, including the garage, must comply with the setbacks shown on the Building Envelope for the lot. Building outside the Building Envelope, will only be allowed with the written consent from the Responsible Authority.
- In addition to the overall dwelling setbacks, the garage on a front loaded must be set back 5.5m from the front boundary.
- Porticos, porches, pergolas and verandahs up to 3.6m in height may encroach up to 1.5m into the front setback.



BUILT FORM VARIETY

To help promote a sense of identity for each home, each dwelling must be noticeably and obviously different from the other dwellings within 3 lots. This includes lots on the other side of a street or road.

If, in the opinion of the BDRP, two dwellings are too similar, the earlier of the two applications will take precedence.

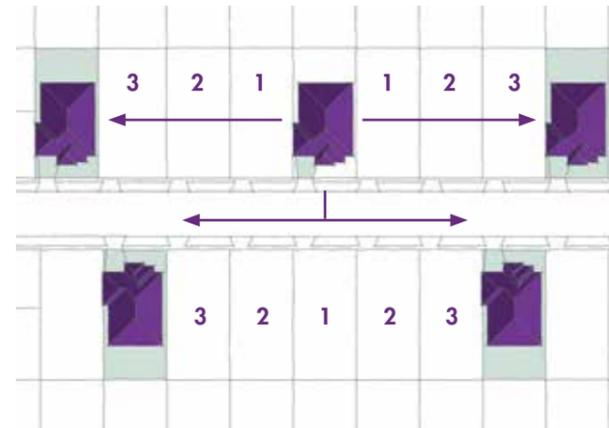


Diagram: example built form variety

Architecture

FORM

- Each dwelling must have an entrance feature that visually complements the architectural character of the dwelling and serves to make the location of the front door obvious from the primary frontage of the lot.

Typical entry features include porticos, porches and verandahs.

- Every dwelling must have at least one habitable room window that addresses the primary street frontage.

ROOFS

- Pitched roofs are preferred, but flat and skillion roofs will be considered if they complement the architectural style of the dwelling.
- Pitched roofs must incorporate an eaves with a minimum depth of 450mm to each side of the dwelling that faces the public realm.
- Corner lots will therefore have eaves along at least two sides.
- Eaves must return for a minimum of 1m along the side wall of a dwelling that is on a lot with only one frontage. (see diagram top right)
- Roof cladding must not be:
 - unfinished;
 - reflective;
 - galvanised;
 - zinc;
 - fibre cement; and
 - tray deck sheeting.
- Flat roofs must be screened from the Public Realm by a parapet.
- Parapets on the front façade must be returned for a minimum of 0.5m along the side wall (see diagram bottom right).

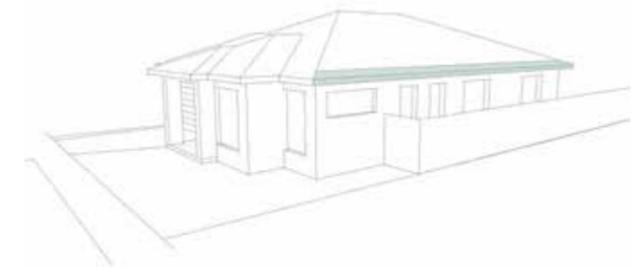


Diagram: example of corner lot eaves

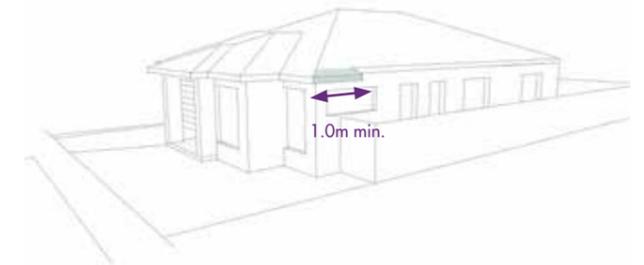


Diagram: example of non-corner lot eaves

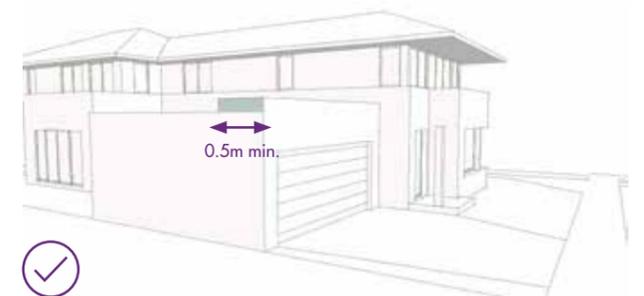


Diagram: example of parapets on front façade

GARAGE

- All lots must provide an enclosed garage for at least one vehicle.
- A double garage must be provided if the lot has a frontage of 12.5m or more.
- Unenclosed carports are not permitted.
- On front loaded lots, the garage must be set back a minimum of 0.5m behind the front façade of the dwelling. This distance is not to be measured from protruding porches, porticos, balconies and the like. (see diagram below)
- Garage openings facing the public realm must be:
 - no wider than a maximum of 40% of the lot width if the dwelling is single storey; or
 - no wider than a maximum of 50% of the lot width if the dwelling is double storey.
- The garage must match or complement the dwelling in terms of external appearance (colour, materials, form etc).
- Roller doors must not be used where they are visible from the public realm.
- On rear loaded lots, the garage must be located to the rear of the lot.

Front Building Line



Diagram: example of garage setback from front facade

CORNER LOT



Diagram: example of matching window head heights on corner lots

Corner lots are in an important position in the context of both the streets that they are on, and the neighbourhood that they are in.

The dwellings on corner lots must therefore address each of the frontages that abut the public realm.

An appropriate way of doing this is to use the same or similar elements/features on each side of the dwelling that faces the public realm.

- You must include at least one window on the secondary façade that has the same head height as the windows on the front façade. (see diagram above)
- In addition to this, you must include at least 1 of the following elements from the primary façade on the secondary facade:
 - highlight materials that “turn the corner” to meet the return fence;
 - wall articulation such as protruding piers or recessed steps in the façade;
 - roof features such as gables etc.;
 - pergolas, porches, balconies etc.

The elements used must be located forward of the return fence.

Blank walls are not permitted forward of the return fence on a corner lot.



EXTERNAL MATERIALS AND FINISHES

- Face brickwork must not account for any more than 75% of the area of the front façade, not including any openings such as windows or doors.
- At least 2 different materials or colours must be used in the walls that address the public realm. Approved materials or finishes include:
 - render;
 - masonry blocks;
 - weatherboard;
 - timber cladding; and
 - other materials at the discretion of the BDRP.
- Obvious or contrasting infill panel(s) must not be used above any wall openings if they are readily visible from the public realm. The finish above the opening must match the finish on either side of the opening. (see diagrams below)

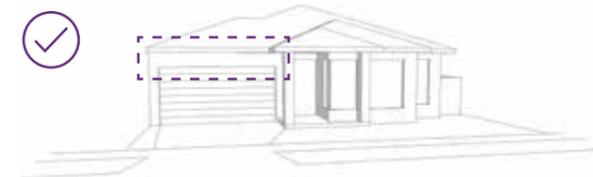


Diagram: example of lightweight infill panel that complies



Diagram: example of lightweight infill panel that does not comply

- Roll down security shutters must not be visible from the public realm.
- Whilst there are no mandatory colour requirements for the dwellings at Bella, proposed colours must be approved by the BDRP.
 - visual colour samples or colour photos of the exterior materials and finishes must be included in the application for the developer's design approval.
 - it is strongly encouraged that all external building materials are in natural muted colours.
- Reflective glazing or glazing with applied film is not permitted.

Landscape

DRIVEWAYS

- Only one crossover is permitted per frontage.
- The driveway must form an impervious surface. Allowable finishes for driveways include:
 - exposed aggregate concrete;
 - coloured concrete; and
 - pavers.
- Natural (plain) coloured concrete driveways are not permitted.
- The driveway must be offset from the side boundary by at least 400mm to allow for a planting strip between the boundary and the driveway. (see diagram below)
- The driveway must not be wider than the width of the crossover at the boundary and should be no wider than the garage door where it meets the dwelling. (see diagram below)



Diagram: example of driveway offset



Diagram: example of driveway width

LETTERBOXES

- Letterboxes should match or complement the appearance of the dwelling.
- Letterboxes supported on a single post are not permitted.



Diagram: example of letterboxes that do not comply

RETAINING WALLS

- Where required, retaining walls must not exceed 1.0 metre in height above natural ground level.
 1. If a higher wall is required, more than one wall must be used in conjunction with graded slopes, battering (maximum 1:3 gradient), and other landscape treatment to soften the appearance of the change in levels.
- Retaining walls are to be constructed of either:
 1. a proprietary masonry block system; or
 2. of timber sleeper / steel post construction.
- If used, timber sleepers must be:
 1. at least 50x200mm; and
 2. no more than 2.4m long.
- Steel posts must be either 100UC (Universal Channel) or 100PFC (Parallel Flange Channel) for wall ends.
- Steel posts must be galvanised.
- Retaining walls must be capped with 50x200mm sleepers to conceal post tops.

Provision should be made for adequate drainage behind retaining walls, and connection to on-site stormwater drains.

Provision should also be made for garden bed planting (minimum 300mm width) in front of retaining walls.

The existing slope is not to be modified in any way that will affect the structural integrity or any structure erected on an adjoining lot.

The installation of any new retaining walls that will structurally affect the existing walls, building platforms or batters, and any modification of the lot's existing batters and retaining walls, is only permitted once you have obtained professional advice from a structural engineer and received all relevant approvals. A copy of such advice and approvals must be provided to the Design Review Panel.

FENCING

Side and rear fencing (fencing between lots)

Side and rear fencing must be:

- constructed of timber posts, rails, and lapped timber palings; and
- a maximum of 1.8 metres in height, above natural ground level.

Side fencing must be:

- set back at least 1.0 metre behind the closest front wall; and
- returned to meet the side of the dwelling (return fence).

A gate is allowable in the return fencing provided that it is constructed of the same material as the side fencing.

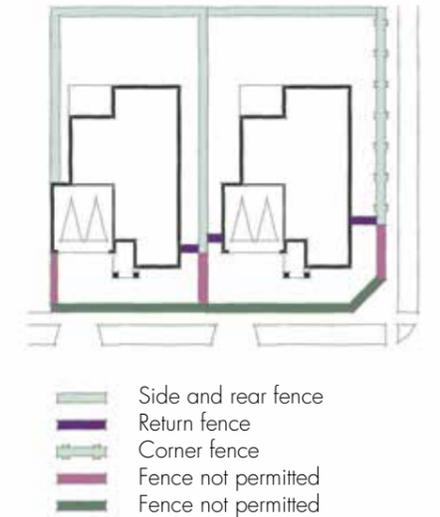


Diagram: example of side and rear fencing between lots

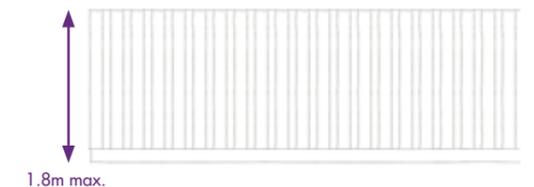


Diagram: side fence elevation

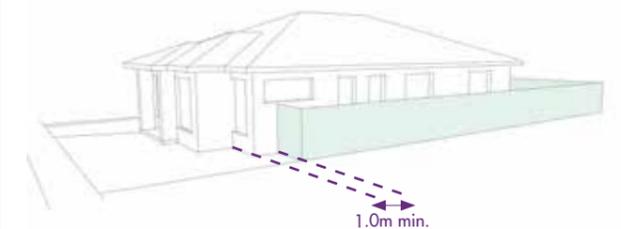


Diagram: side fence layout

Corner Fencing

(fencing to a public realm boundary other than the frontage)

Corner fencing must be:

- constructed of exposed timber posts and rails, lapped timber palings and timber capping;
- a maximum of 1.8 metres in height, above natural ground level;
- set back at least 3.0 metres behind the dwelling frontage alignment; and
- returned to meet the side of the dwelling (return fence).

A gate is allowable in the return fencing provided that it is constructed of the same material as the corner fencing.



Diagram: corner fence elevation

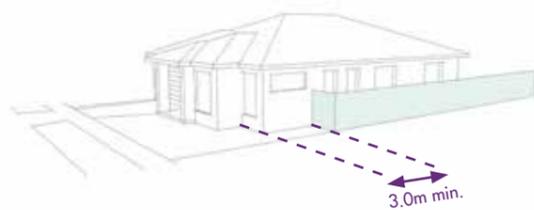


Diagram: corner fence layout

Front Fencing

Fencing forward of the dwelling is not permitted.

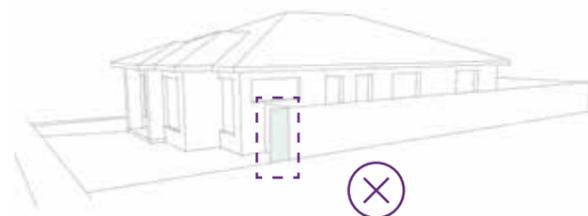


Diagram: fence forward does not comply

LANDSCAPING

Complimentary Landscape Package

Selected lots are eligible for a front garden landscaping package that is supplied and installed by the Developer.

To be eligible, purchasers must comply with the Front Garden Landscaping Package Terms and Conditions in the Contract of Sale. Please note that not all lots are eligible. If in doubt, please seek further information from the Sales Office.

Eligible purchasers have 3 different design options to choose from. Details of each of the designs are available from the Sales Office.

Before you contact the Sales Office to arrange for the installation of the complimentary landscaping, please ensure that you have completed the following items:

Irrigation System Preparation:

- A 90 mm PVC pipe or similar is required to be installed under the driveway so that it protrudes from either side of the driveway. It must be located at least one (1) metre away from the front boundary.
- An external tap to service the front garden must be installed on the side of the dwelling, forward of the side gate/fence.
- An external power point must be installed adjacent to the front garden tap.

Front Path and Driveway Treatment:

The front garden package does not include a front garden path or a driveway. The installation of any path (should you choose to do one) and the driveway (which is mandatory) is the responsibility of the owner. The driveway and any path must be installed prior to receiving the Front Garden Landscaping Package.

General Construction Items:

- Driveway complete.
- All required earthworks complete and landscape area levelled to 100mm below driveway level in preparation for topsoil.
- Retaining walls complete (if applicable) and in accordance with the Design Guidelines. (If batter is to be used, it should not be more than 1:6 gradient -consult your builder or architect).
- All site rubbish removed.
- Garage door installed.
- Porch and front paths (if applicable) complete.
- Rear, side and return fencing installed.
- Approved letterbox installed.
- Drainage infrastructure installed (as required).
- NBN Co. street connection completed.
- Clear access to area in which works will be undertaken.

Owner Installed Landscape Guidelines

If your lot does not qualify for the complimentary Front Garden Landscaping Package, or if you choose not to take up the package, the following landscaping requirements apply to your front garden:

- The front garden must include a canopy tree that is a minimum height of 1m at installation and 4m in diameter at maturity.
- Impermeable hard surface materials must not exceed 60% of the front garden area including the driveway and front path.
- Artificial turf and/or plants will not be permitted within front lot landscaping.
- Any landscape areas visible from the street or open space must always be maintained, kept neat and tidy with no excessive weed growth.
- Front landscaping must be completed within 3 months of occupation of the home.



Outbuildings & Ancillary Items

SHEDS AND OUTBUILDINGS

- If less than 10m² in area, sheds and outbuildings must not be readily visible from the public realm.
- If more than 10m² in area, sheds and outbuildings must match or complement the appearance of the dwelling in form and colour.

SCREENING

- Ancillary structures and elements must be located so that they are not readily visible from the public realm. This include items such as:
 - rubbish bin storage areas;
 - washing lines;
 - hot water systems;
 - any water storage tanks;
 - swimming pools;
 - spa equipment;
 - external plumbing other than that for rain water; and
 - satellite dishes and TV aerials.
- Trucks, commercial vehicles exceeding 1.5 tonnes, recreational vehicles, trailers, caravans, boats, horse floats or other like vehicles must be located so that they are not readily visible from the public realm when parked or stored on the lot

SERVICE EQUIPMENT

Heating and cooling units must be:

- located towards the rear of the dwelling; and
- if roof mounted, positioned below the ridge line; and
- if roof mounted, coloured to match the roof as far as practical; and
- noise attenuated.

EXTERNAL LIGHT FITTINGS

External light fittings that are visible from the public must be external grade downlights only.

RECYCLED WATER

The provision of recycled water will eventually be available to all residents of Bella. This will provide recycled water for gardens, washing cars and other non-potable purposes.

It is strongly recommended that owners allow for all toilets and 3 taps (located in the front garden, rear garden and in the laundry) to be connected to any future recycled water system.

If you do not make these allowances before you start construction, it is likely that you may face extra costs if you choose to take advantage of this service after your home has been completed.

BROADBAND

High speed internet services will be available at Bella. In order to take advantage of these services, it is highly encouraged that your home is appropriately prepared.

Again, it is important that you consider the advantages and costs early in the decision-making process and discuss it with your builder. Failure to prepare will most likely lead to additional costs if a decision to connect is made after the home is complete.

For details on how to prepare your home, please see your builder or refer to the website: www.nbnco.com.au

SIGNAGE

- Signs to advertise the sale of a vacant lot are not permitted unless approved by the Developer.
- One sign only may be erected to advertise the sale of a completed dwelling.
- Signs for dwelling names and home businesses must not exceed 200mm.

TIMING OF WORKS

- Building works must commence within 12 months of settlement and must be completed within 12 months of work commencing.
- Landscaping of the front garden, including the nature strip, must be completed within 3 months of the Certificate of Occupancy being issued.
- Boundary fencing must be completed prior to the dwelling being occupied.
- The garage must be constructed at the same time as the dwelling.
- Driveways must be completed within 30 days of the Certificate of Occupancy being issued.

MAINTENANCE AND PROTECTION

- The Purchaser shall not allow any rubbish including site excavations and building materials to accumulate on a lot (unless the rubbish is neatly stored in a suitably sized industrial bin or skip) or allow growth of grass or weeds upon the lots in excess of 300mm high.
- The Purchaser shall not place any rubbish including site excavations and building materials on adjoining land, reserve or in any waterway.
- It is the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
- It is the responsibility of the landowner to ensure that any street trees and/or nature strips are protected during all building works.



Submission Checklist

SITE PLAN CHECKLIST

- North Point
 - Scale (1:100, 1:200)
 - Lot boundaries, title boundaries and setout
 - Locations Building footprint (outline)
 - Slab levels
 - Site contours, site levels
 - Building setback dimensions (from all boundaries)
 - Location of Driveway and crossover and front path
 - Location of retaining walls (where applicable)
 - Location of swimming pools (where applicable)
 - Location of services (hot water service, water tanks, air conditioning)
 - Connection to recycled water indicated
 - Location of all outbuildings
-

FLOORPLAN CHECKLIST

- North point
 - Scale (1:100, 1:200)
 - Finished floor levels
 - All internal rooms and spaces
 - Internal floor area
 - Internal garage area
 - Smart wired in accordance with NBN requirements
 - Garage dimensions
 - Site coverage
 - Site permeability
-

ELEVATIONS

- Scale (1:100, 1:200)
 - Natural ground level
 - Finished ground level
 - Building heights relative to ground level
 - Materials and finishes
 - Roof pitch and materials
 - Locations of services (hot water services, water tanks, air conditioning)
-

SECTIONS

- Scale (1:100, 1:200)
 - Natural ground level
 - Finished ground level
 - Cut and fill levels
 - Ceiling heights
 - Building heights relative to ground level
 - Materials and finishes
 - Roof pitch and materials
-

MATERIALS & FINISHES SAMPLES

- All buildings façades materials and colours
 - All roof colours and materials
 - All fencing
 - Fencing finishes and colours
-

LANDSCAPE PLAN CHECKLIST

- Landscape Request Form
 - Driveway materials and finish
 - Entry path
 - Fencing line, materials and colours
 - Clothesline locations
 - Hot water service location
 - Water tank locations
 - Letter box location and design
-



Beautiful Living

Sales Office: 359 Berwick-Cranbourne Road, Clyde

Project Address: 60 Bells Road, Clyde

BELLACLIDE.COM.AU

For further information regarding the Bella Design Guidelines
please contact Core Projects on 1 300 235 522